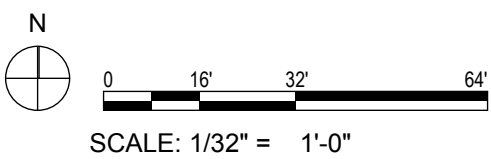


TAB B-3

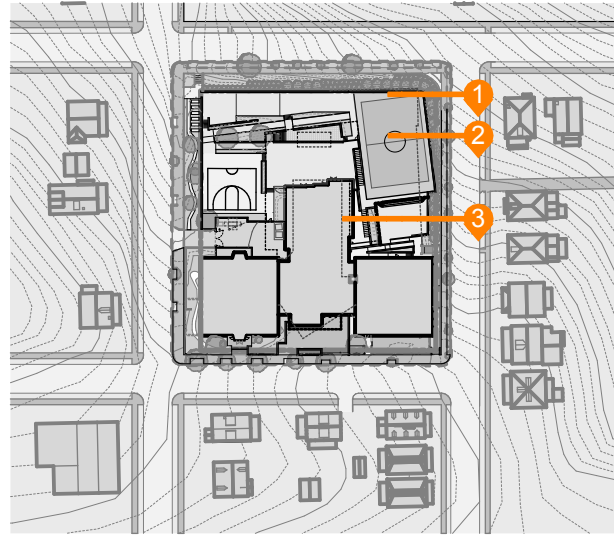


- Wall ID, new wall over 4'
- Existing retaining walls
- New retaining walls



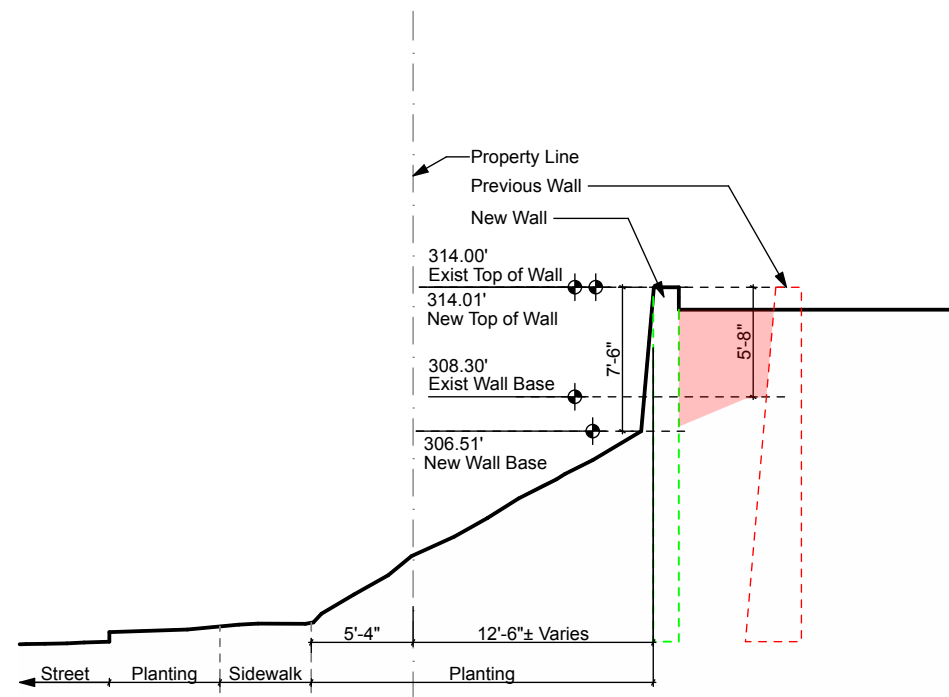
New Retaining wall is for lower level. Not visible from street

Existing to remain Varying height, replacement of cap in kind. **New** No Change.



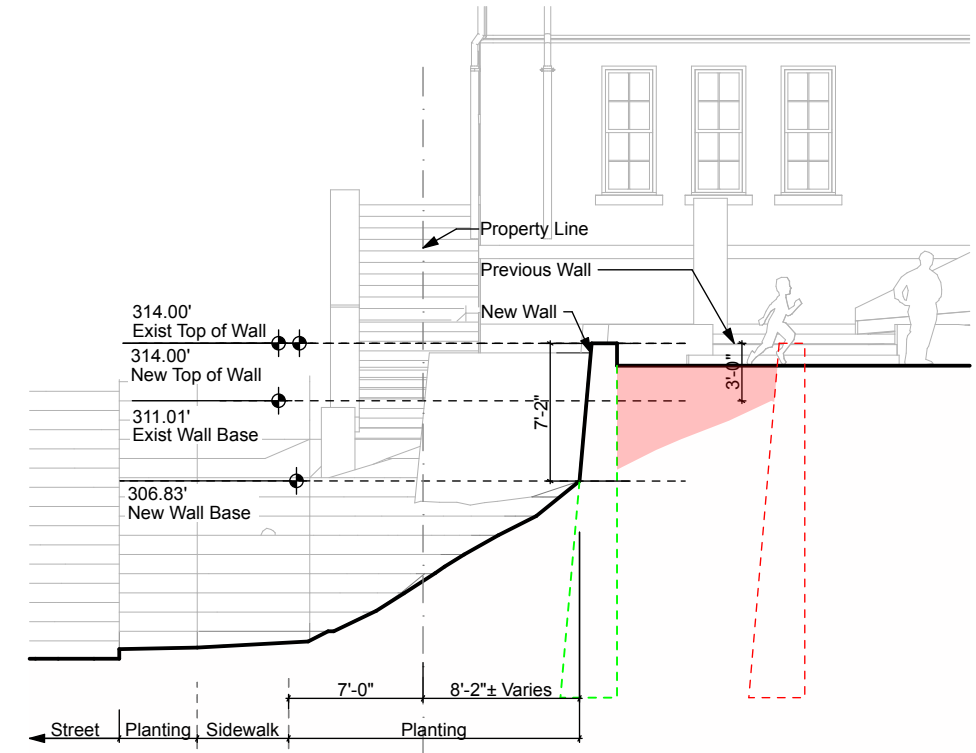
Key Plan

SCALE: 1" = 200'



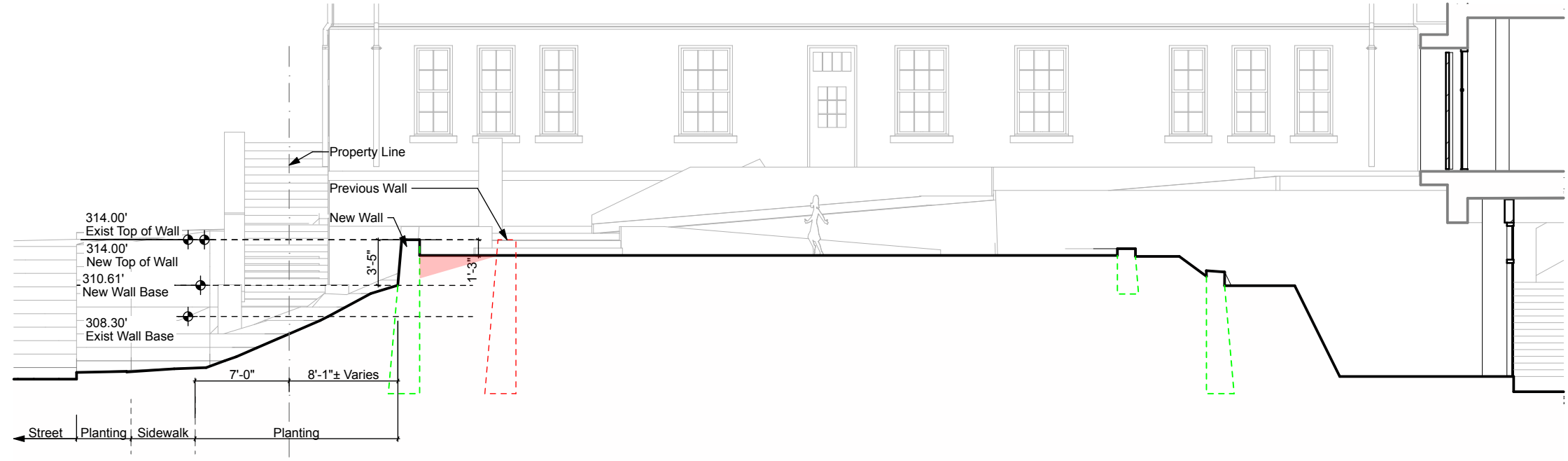
Site Section 1

SCALE: 1" = 10'






Site Section 2

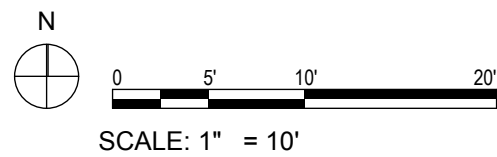
SCALE: 1" = 10'



Site Section 3

SCALE: 1" = 10'

-  Section
-  Existing retaining walls
-  New retaining walls



Recreational Roof Access

There are 2 recreational roof areas that contribute to the proposed playground area:
 - Roof 1 Area above the Gymnasium
 - Roof 2 Area above the Stage

The proposed access width provides more than the Building Code required egress width for both area, based on their size and occupancy. The roofs thereby meet the intent of the maintaining public access to all Public School recreational assets and do not diminish the assets of the community.

Summary of Roof 1 Access



The gym roof is provided with 35 linear feet of access total based on 23 linear feet width at the West Access (Stair and Barrier free), 6 linear feet width at the North Stair, and 6 linear feet width at the East Stair. This is in excess of the required egress width for the roof's occupancy under the D.C. Building Code.

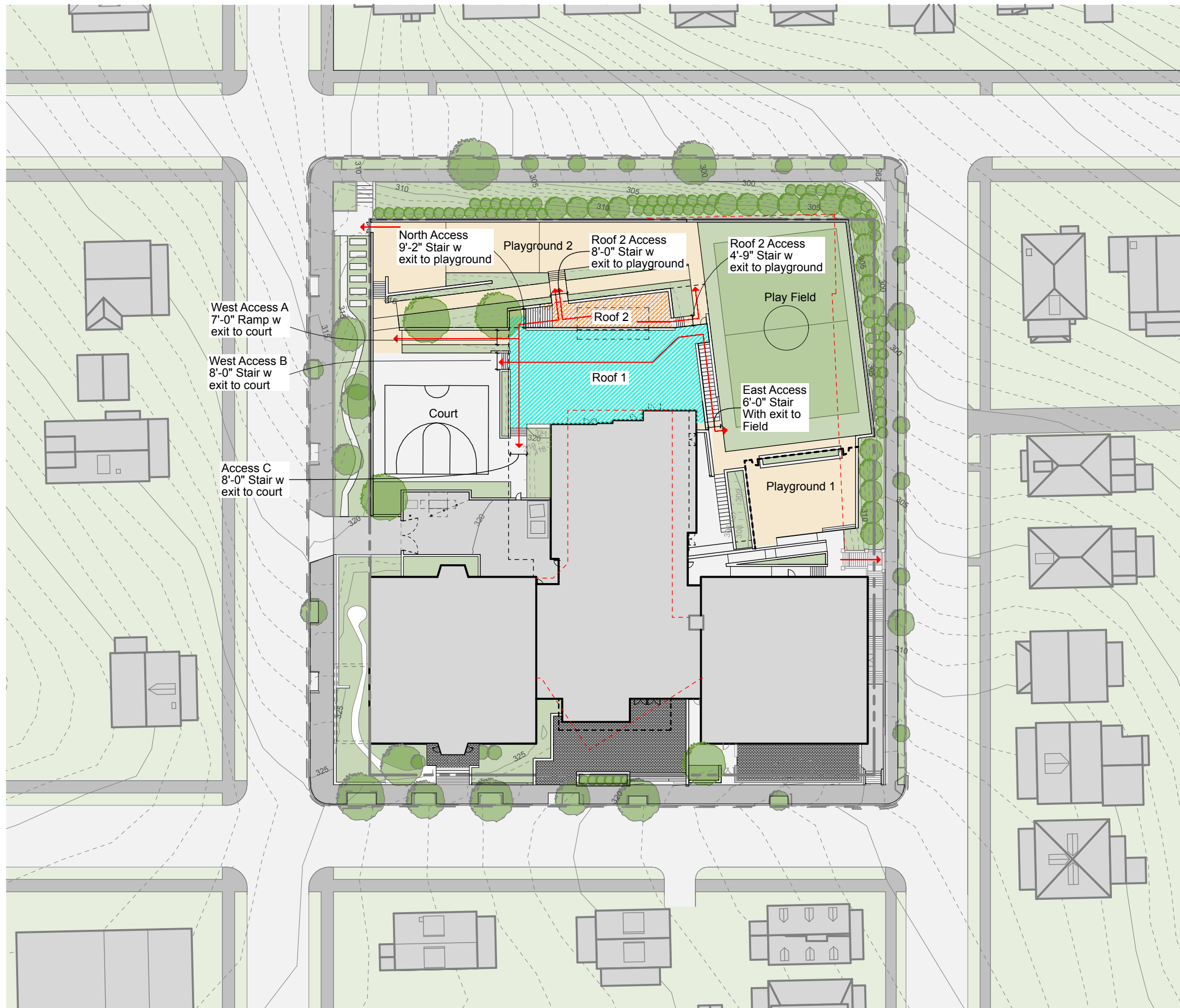
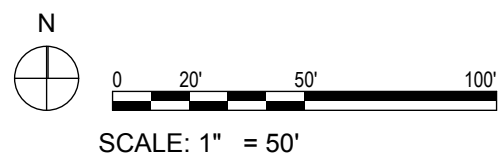
4,129 sq.ft. ÷ 5 sf/person = 826 person occupancy
 826 x 0.2 = 165.16" (13'-8" linear feet) required by the D.C. Building Code.

Summary of Roof 2 Access

The stage roof is provided with 12'-9" of access total based on 8'-0" linear feet of egress at the north and 4'-9" linear feet of egress stair at the east. This is in excess of the required egress width for the roof's occupancy under the D.C. Building Code.

839 sq.ft. ÷ 5 sf/person = 168 person occupancy
 168 x 0.2 = 33.56" (2'-8" linear feet) required by the D.C. Building Code.

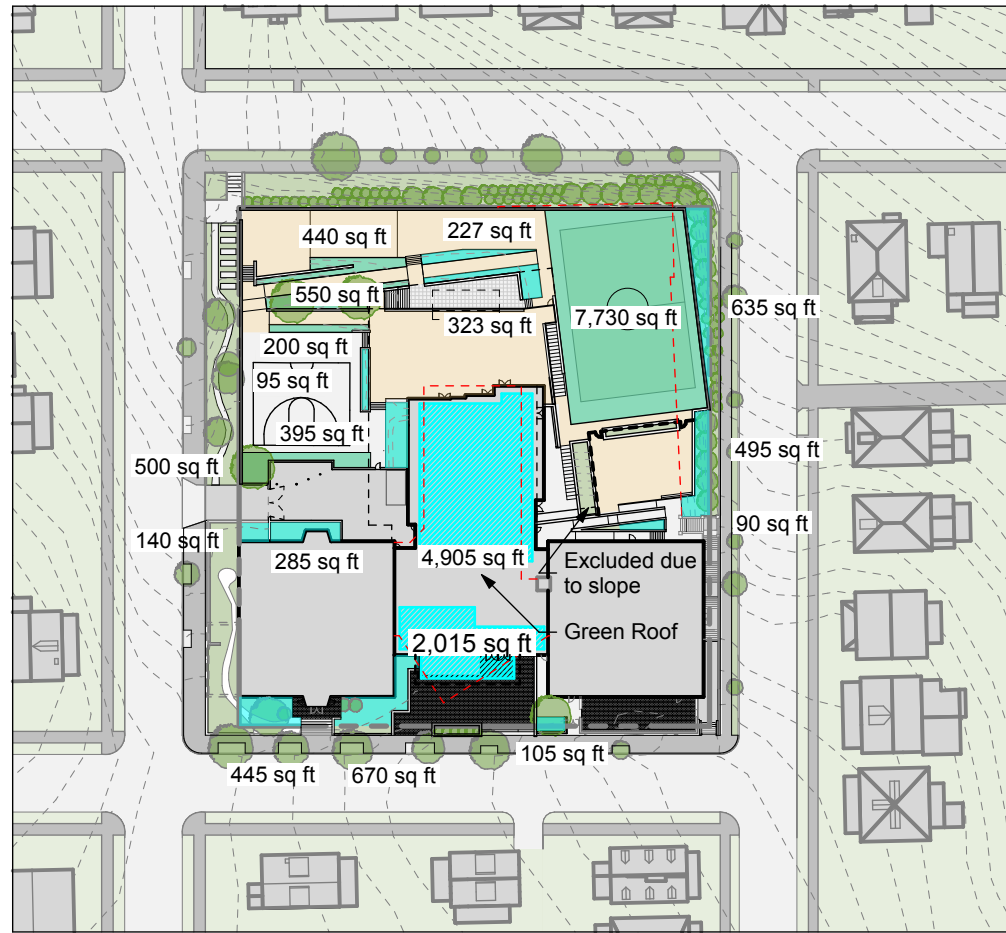
-  Recreational Roof 1
-  Recreational Roof 2





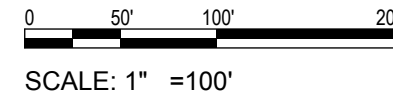
Existing Porous Area

SCALE: 1" =100'

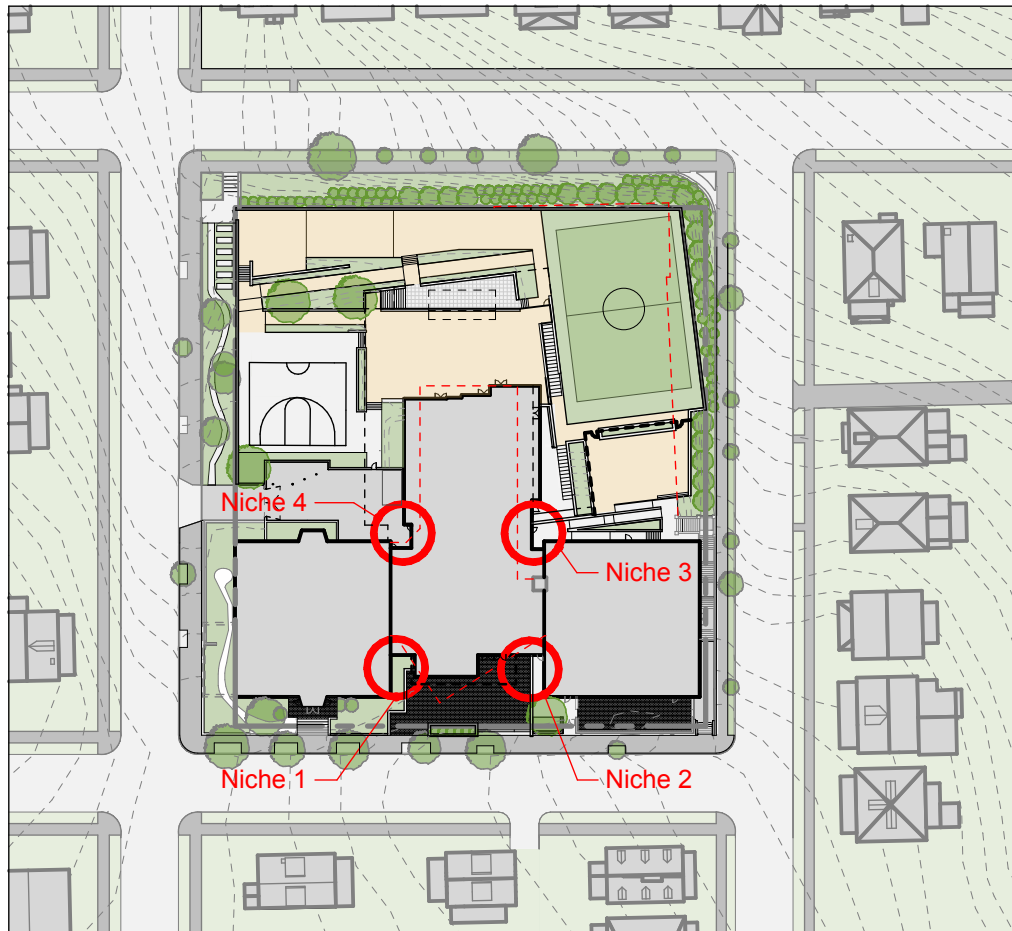


Proposed Porous Area

SCALE: 1" =100'



Porous Area		
	Existing	Proposed
Turf	8795	7,730
Area to Property line	2840	635
	110	495
	47	105
	683	670
	456	445
		140
Planters	126	285
	458	500
	464	395
	362	95
	660	200
	379	550
	574	440
		327
		323
		90
Green Roof		4,905
		2,015
TOTAL	15954 sf	20,345 sf
Required = 30% of lot		19,845 sf

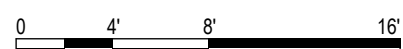


Court Niche Conditions

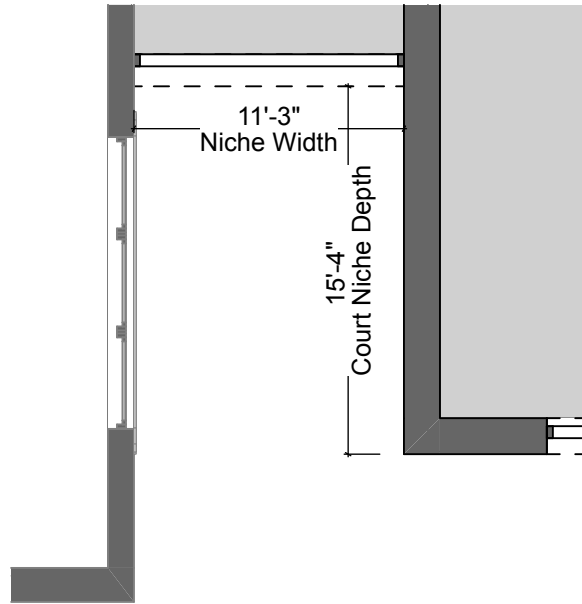
SCALE: 1" = 100'



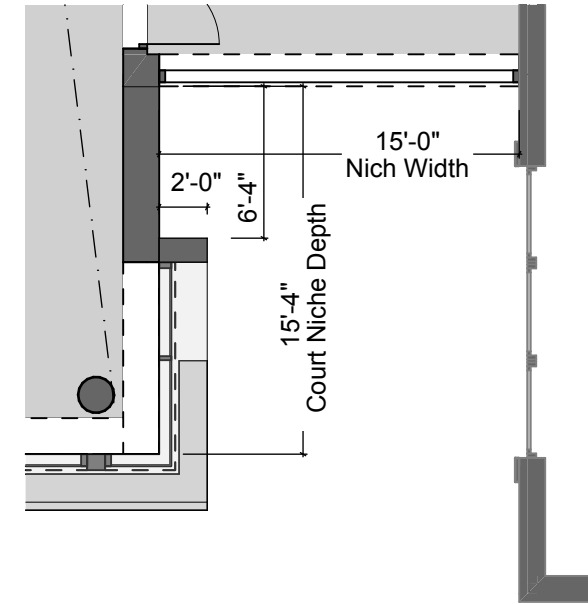
SCALE: 1" = 100'



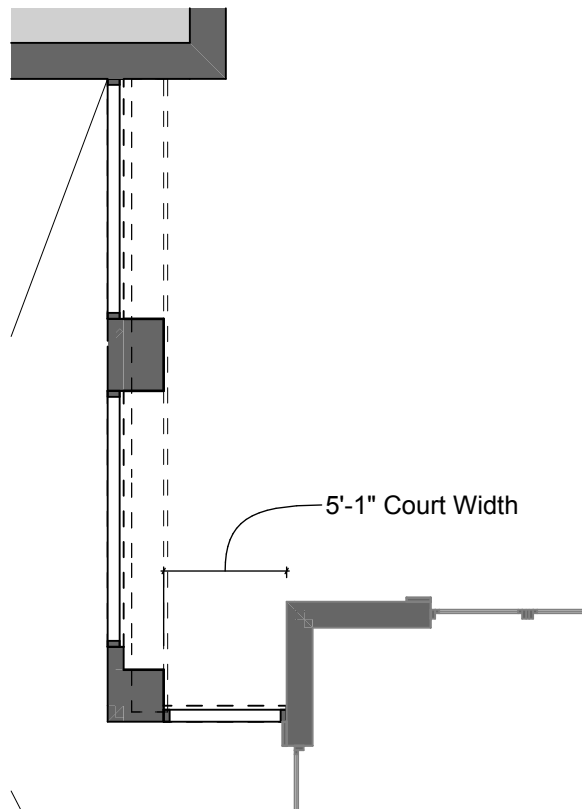
SCALE: 1/8" = 1'-0"



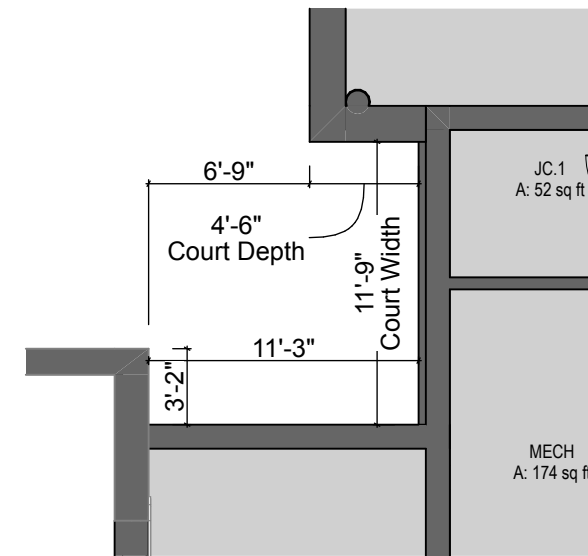
1 Niche Diagram
SCALE: 1/8" = 1'-0"



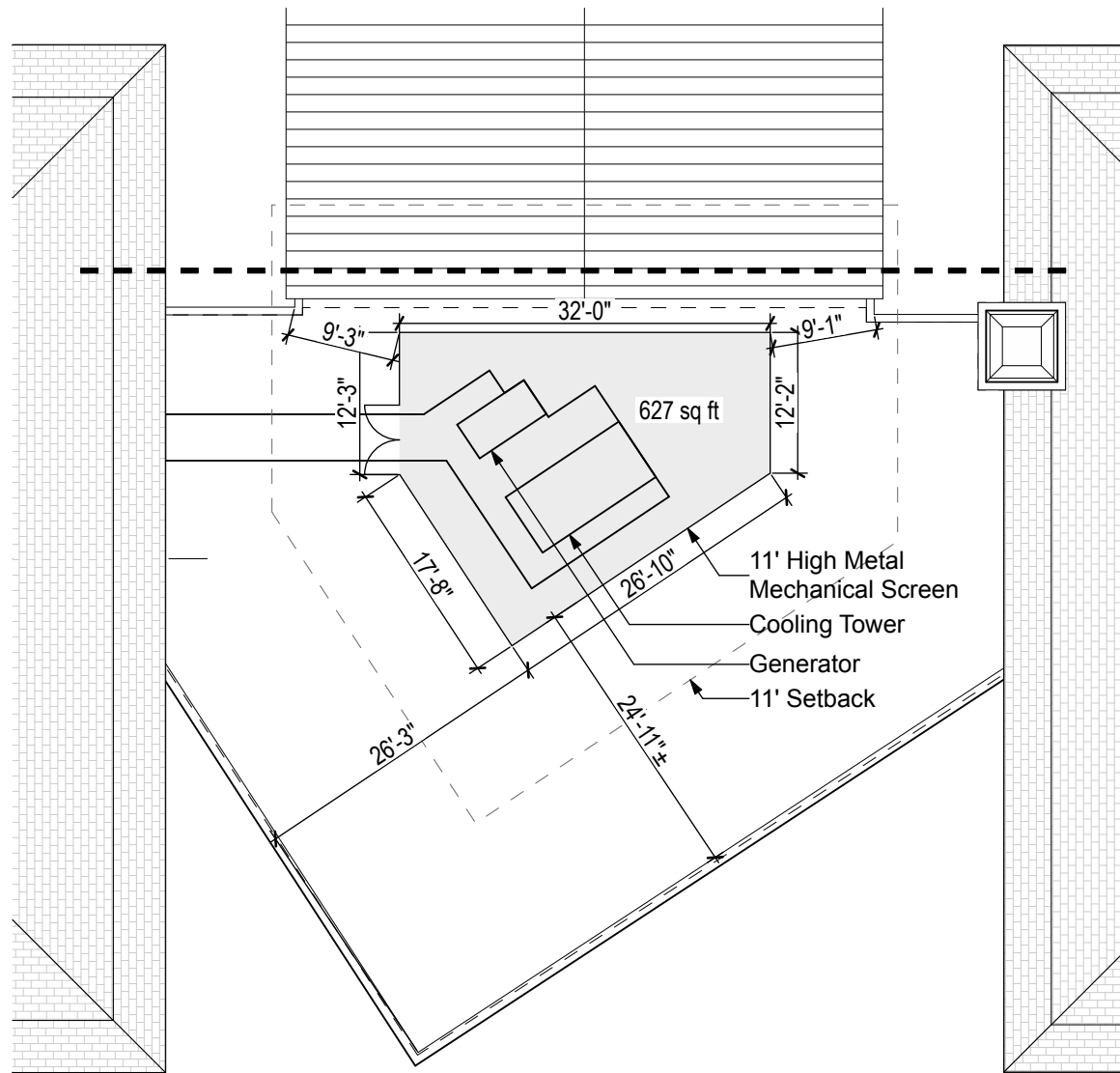
2 Niche Diagram
SCALE: 1/8" = 1'-0"



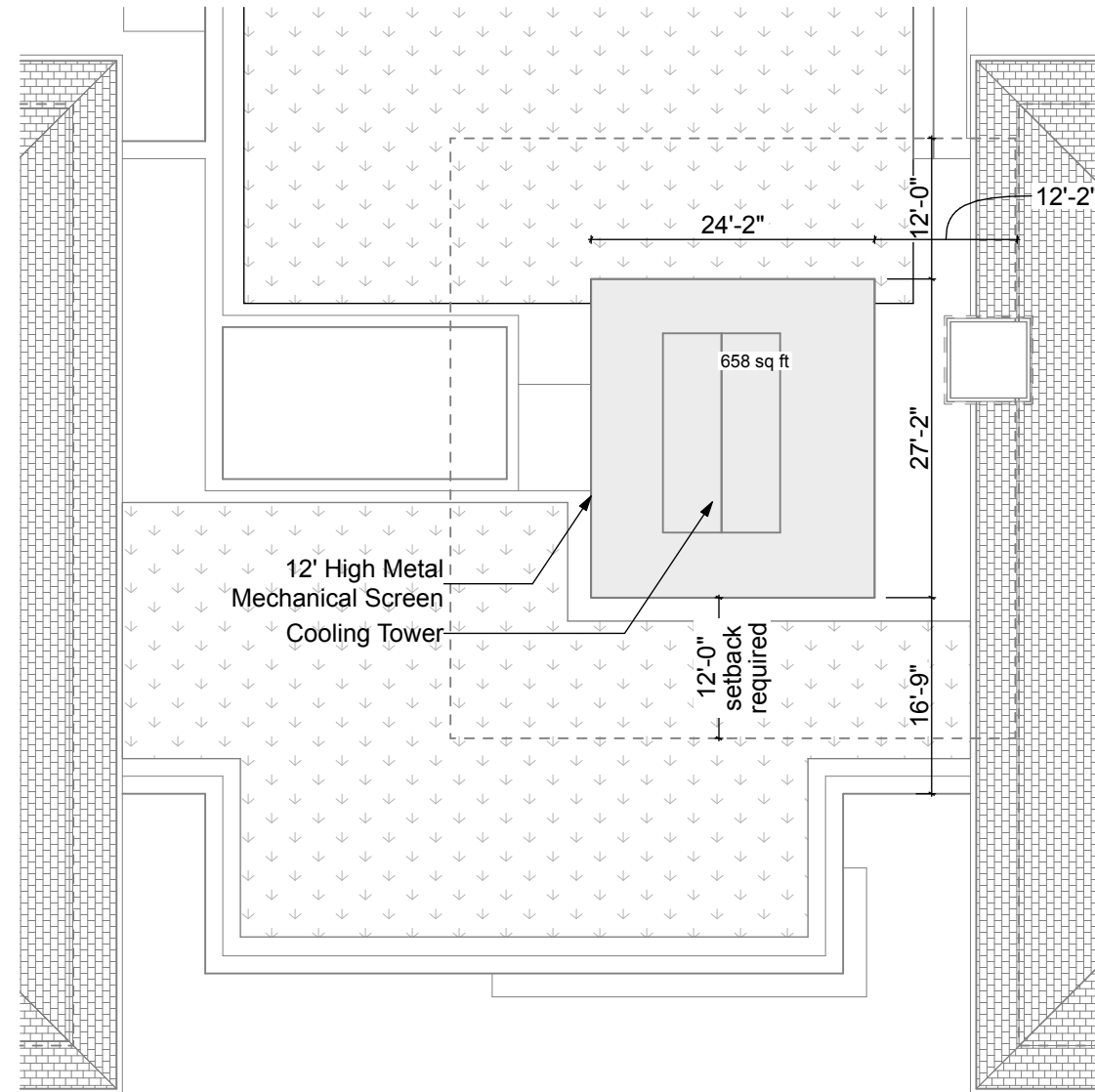
3 Niche Diagram
SCALE: 1/8" = 1'-0"



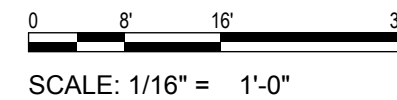
4 Niche Diagram
SCALE: 1/8" = 1'-0"



Penthouse - to be Demolished
SCALE: 1/16" = 1'-0"



Penthouse - Proposed
SCALE: 1/16" = 1'-0"







BZA Submission 34th Street View

JOHN EATON ELEMENTARY SCHOOL MODERNIZATION

cox graae + spack architects

JUNE 19, 2019

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BZA Submission 33rd Street & Macomb St. Views

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BZA Submission **Macomb St. View**

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BZA Submission **Lowell Street View**

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BZA Submission **Front Entry & Plaza**

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